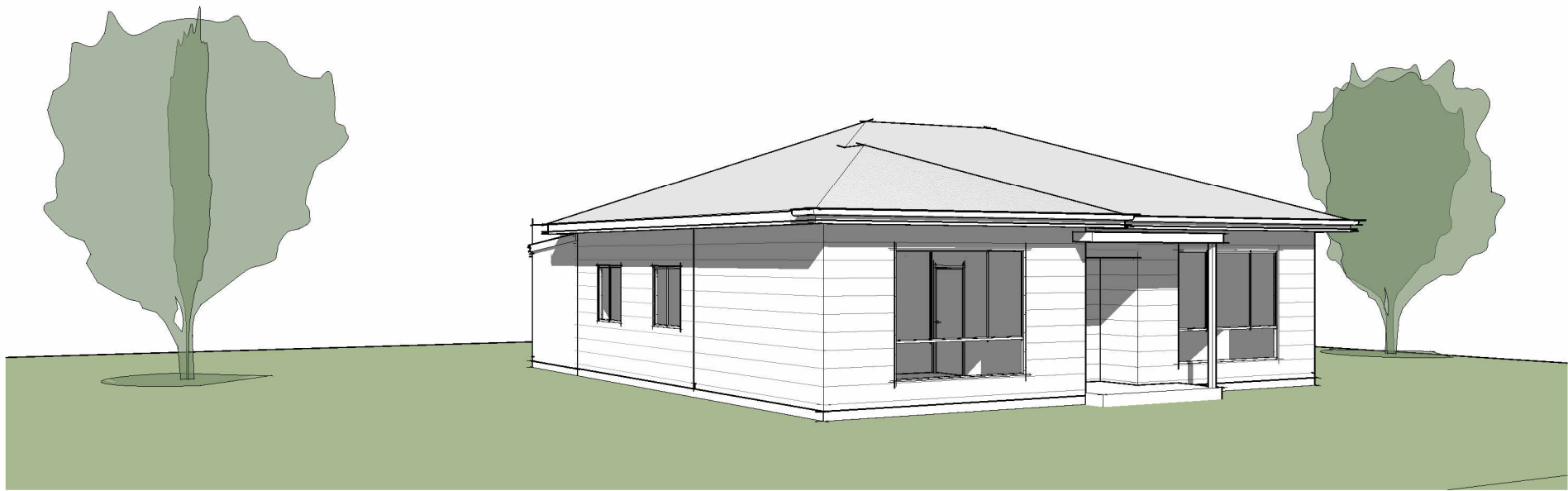
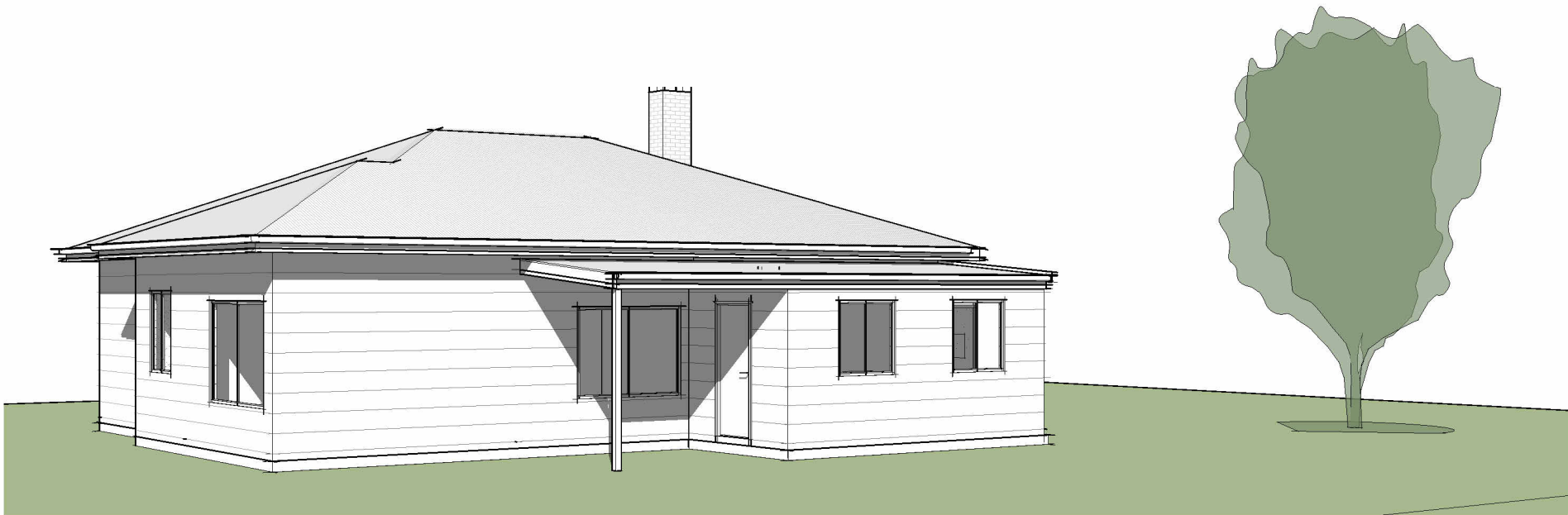




EXISTING



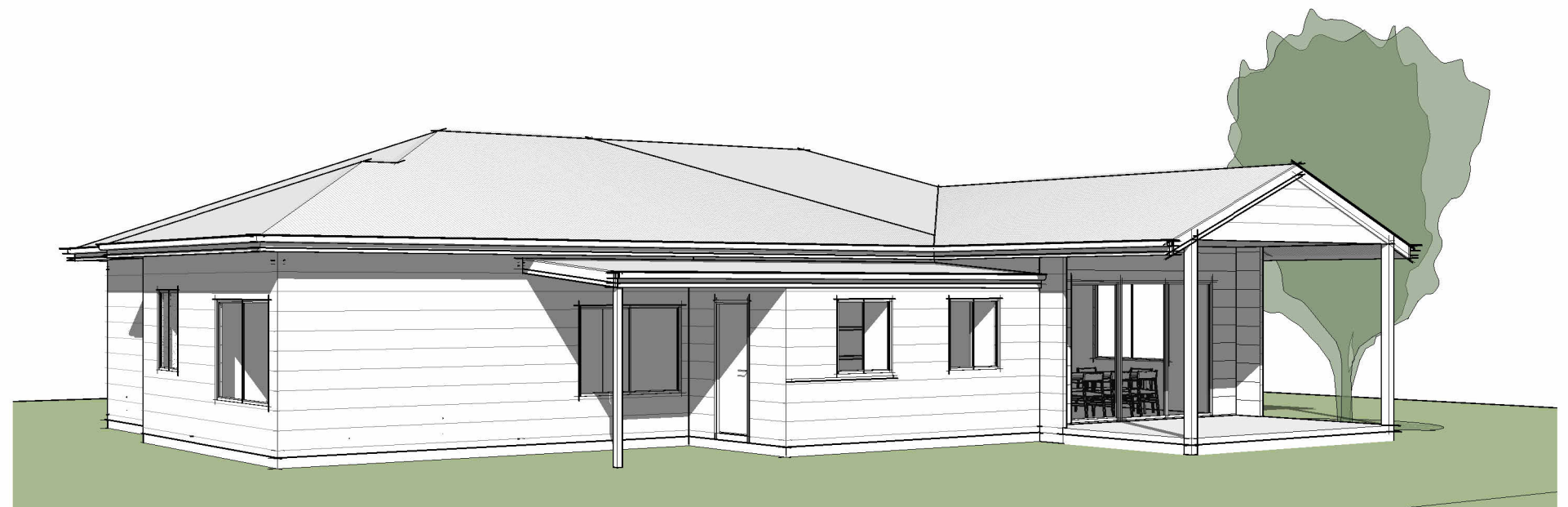
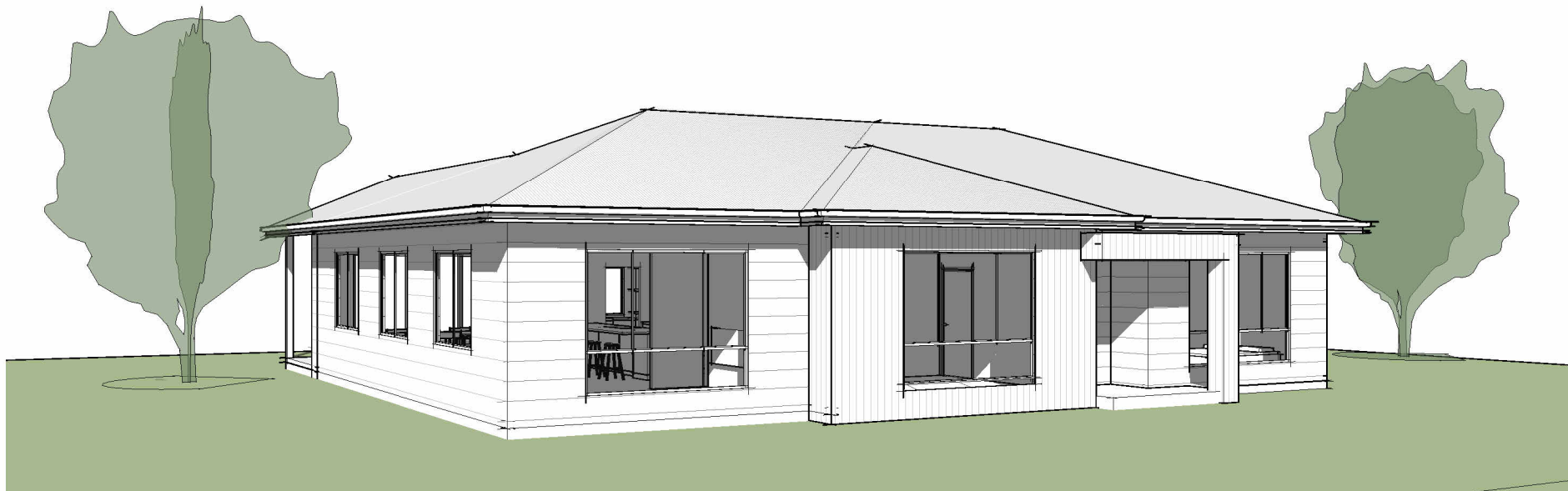
PROPOSAL:
PROPOSED EXTENSION

ADDRESS:

REVISION:
04/06/2025 CONCEPT SKETCH
11/07/2025 PRELIMINARY PLANS

DRAWN: **DATE:** **DWG NO:**
04/06/2025 A1-00

NOT FOR CONSTRUCTION



PROPOSED

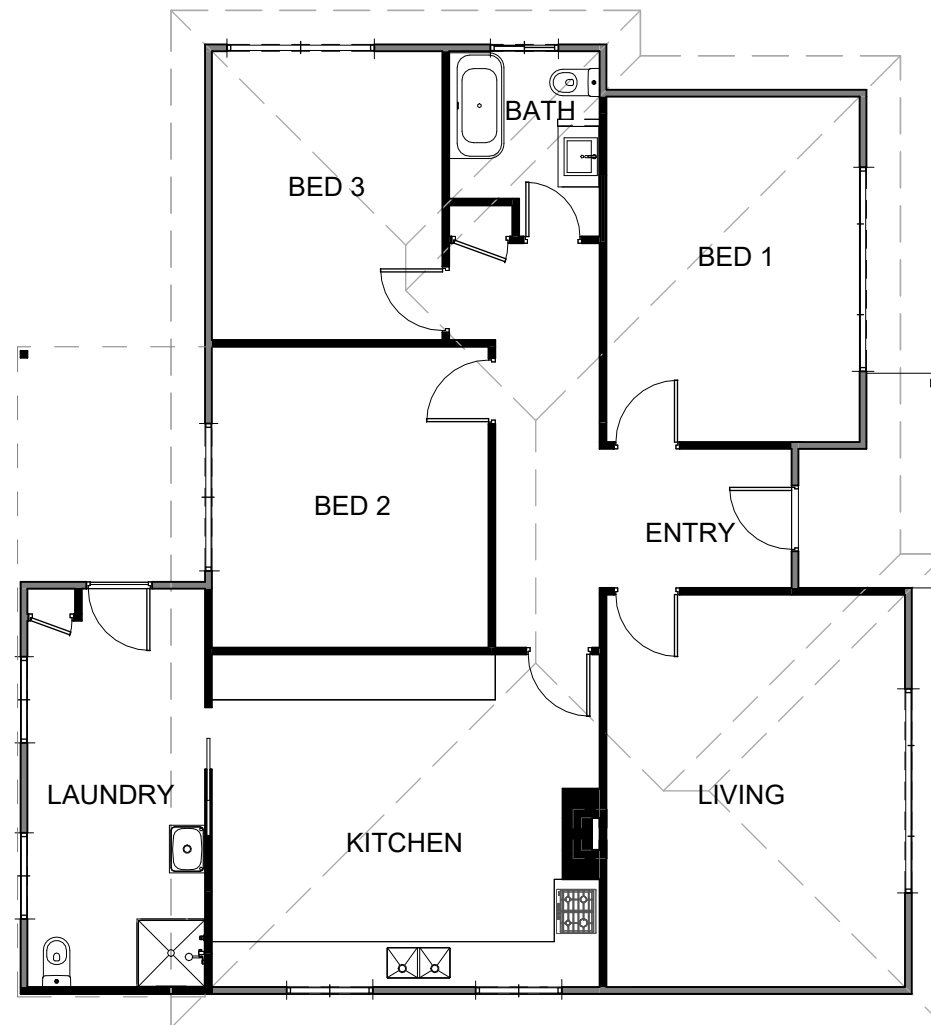
PROPOSAL:
PROPOSED EXTENSION

ADDRESS:

REVISION:
04/06/2025 CONCEPT SKETCH
11/07/2025 PRELIMINARY PLANS

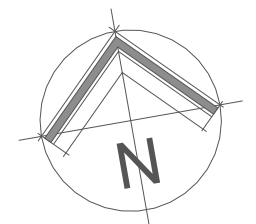
DRAWN: **DATE:** **DWG NO:**
04/06/2025 A1-01

NOT FOR CONSTRUCTION



EXISTING FLOOR PLAN

1 : 100



PROPOSAL:
PROPOSED EXTENSION

ADDRESS:

REVISION:
04/06/2025 CONCEPT SKETCH
11/07/2025 PRELIMINARY PLANS

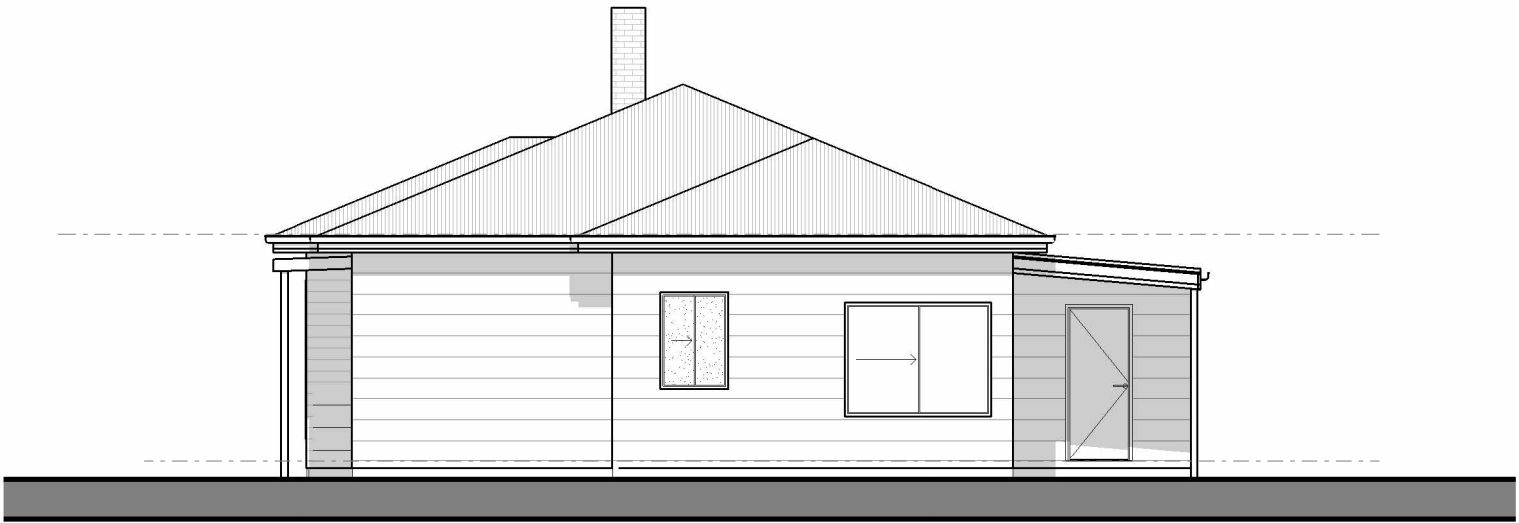
DRAWN: **DATE:** **DWG NO:**
04/06/2025 A1-02

NOT FOR CONSTRUCTION



EXISTING EAST ELEVATION

1 : 100



EXISTING NORTH ELEVATION

1 : 100



EXISTING WEST ELEVATION

1 : 100



EXISTING SOUTH ELEVATION

1 : 100

PROPOSAL:
PROPOSED EXTENSION

ADDRESS:

REVISION:
04/06/2025 CONCEPT SKETCH
11/07/2025 PRELIMINARY PLANS

DRAWN: DATE: DWG NO:
04/06/2025 A1-03

NOT FOR CONSTRUCTION

- Demolition Method Statement**
- Disconnect all services, power, water, gas etc.
 - Locate stormwater and sewer drains and seal at points of discharge.
 - Protect adjoining property
 - Provide temporary wall bracing where required.
 - Remove tiled roof ,Fascia ,Gutter and down pipes (where required)
 - Remove any internal linings.
 - Remove loose or attached fittings and built-in fixtures, internally and externally.
 - Remove brick work from the top course of bricks down (where required)
 - Place bricks in building skip that is provided
 - Clean up site.
 - Fill in excavations.
 - Check for any hazards.
 - Clean site entry points and infrastructure where necessary.
 - Retained fabric will be safeguarded during demolition and construction (structurally propped, weatherproofed and not damaged)

REMOVE ALL EXISTING JOINERY & FIXTURES TO BATH & MAKE GOOD TO ALL ADJACENT SURFACES

DEMOLISH EXTERNAL WALL WHERE REQUIRED
MAKE GOOD TO ALL ADJACENT SURFACES

REMOVE ALL EXISTING JOINERY & FIXTURES TO KITCHEN, L'DRY AND WC

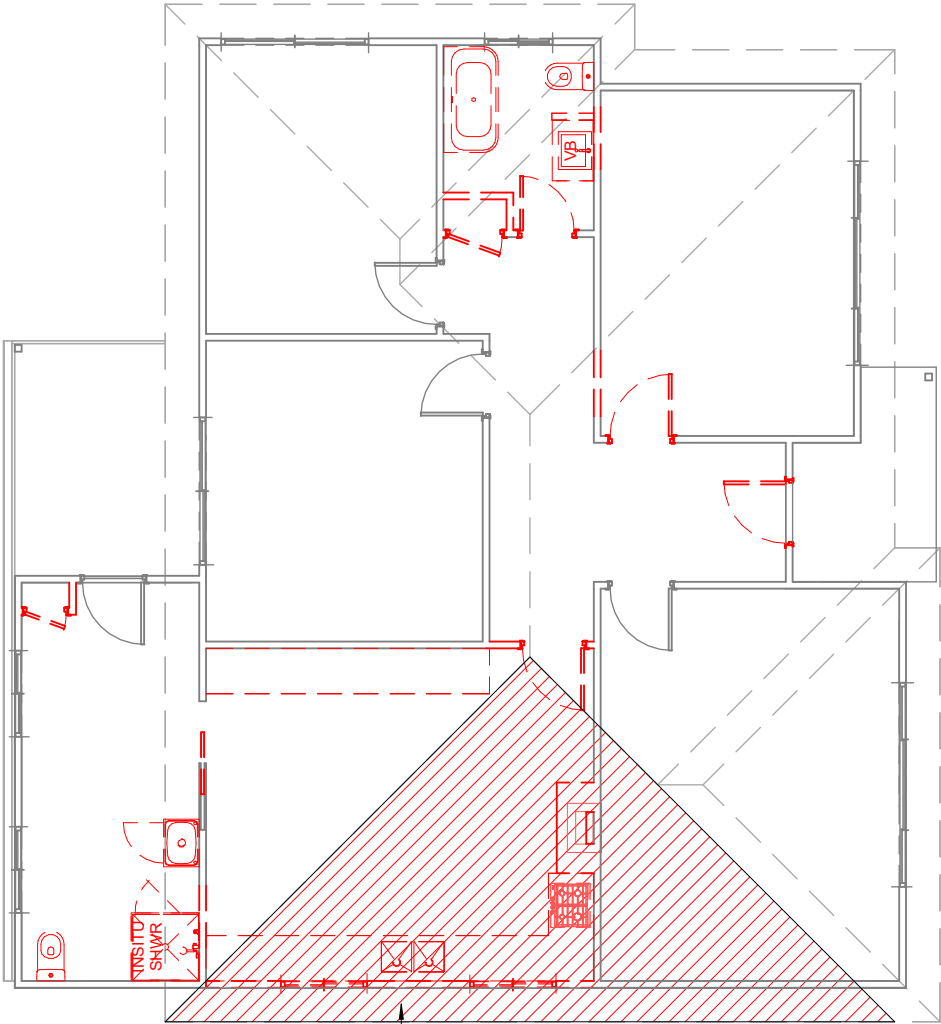
REMOVE EXISTING WINDOWS & DEMOLISH EXTERNAL WALL WHERE REQUIRED
MAKE GOOD TO ALL ADJACENT SURFACES

DEMOLISH PART OF EXISTING ROOFING & ROOFING STRUCTURE.
MAKE GOOD TO ALL ADJACENT SURFACES
(SHOWN IN RED DIAGONAL HATCH)

REMOVE EXISTING INTERNAL DOORS & DEMOLISH EXISTING WALLS WHERE SHOWN
MAKE GOOD TO ALL ADJACENT SURFACES

— DENOTES EXISTING WALLS
- - - DENOTES WALLS TO BE DEMOLISHED

NOTE; PROP-UP EXISTING ROOFING WHERE REQUIRED PRIOR DEMOLITION OF EXTERNAL WALLS



DEMO PLAN
1 : 100

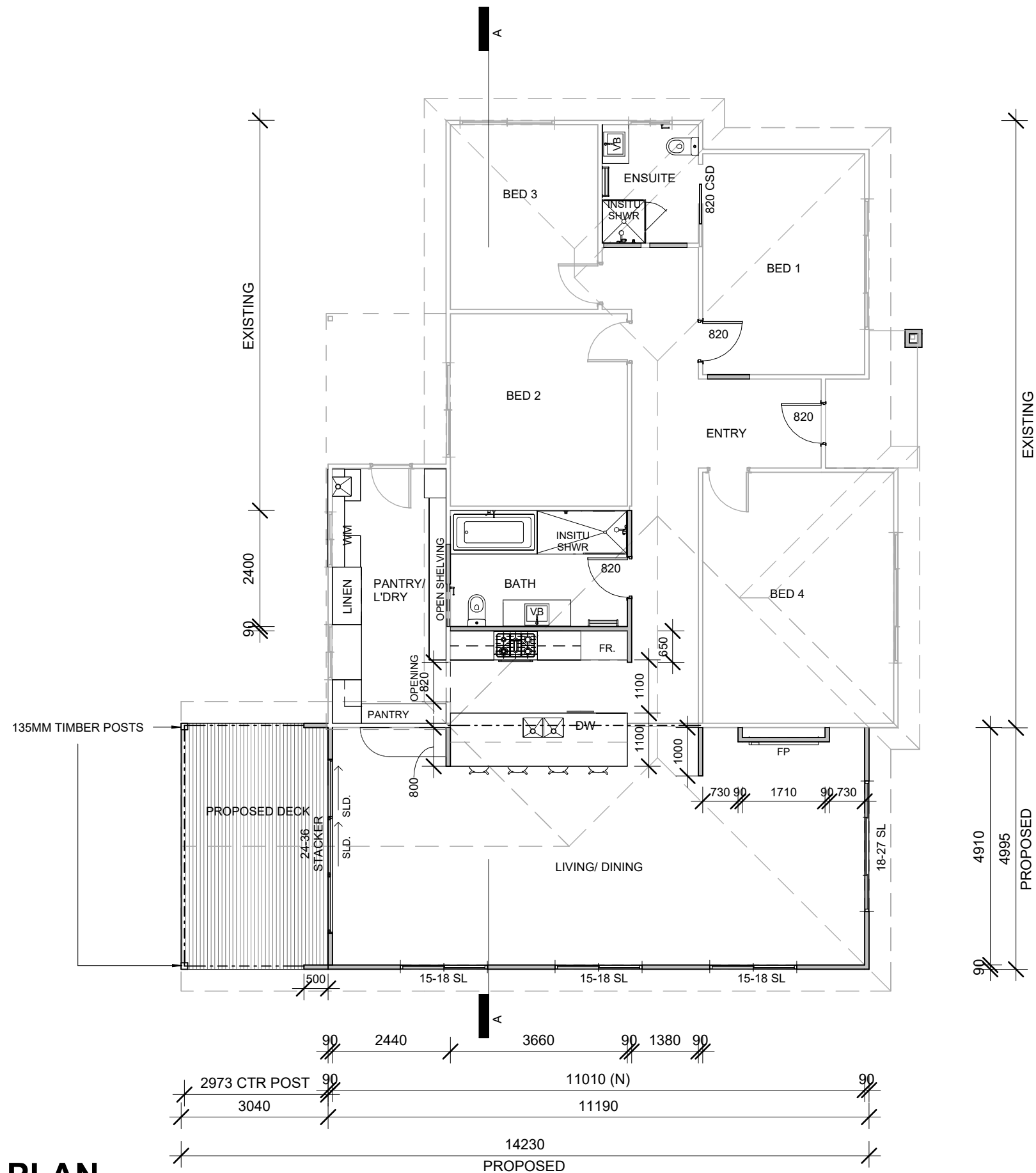
PROPOSAL:
PROPOSED EXTENSION

ADDRESS:

REVISION:
04/06/2025 CONCEPT SKETCH
11/07/2025 PRELIMINARY PLANS

DRAWN: **DATE:** 04/06/2025 **DWG NO:** A1-04

NOT FOR CONSTRUCTION



PROPOSED FLOOR PLAN

1 : 100

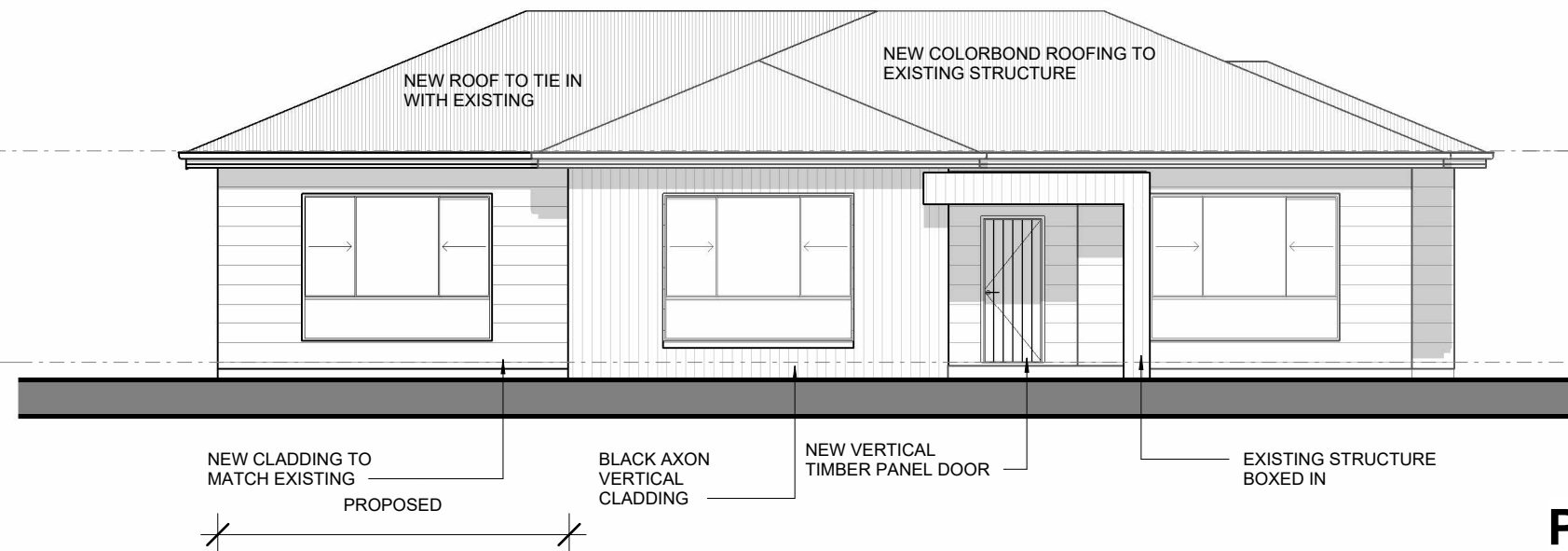
PROPOSAL:
PROPOSED EXTENSION

ADDRESS:

REVISION:
04/06/2025 CONCEPT SKETCH
11/07/2025 PRELIMINARY PLANS

DRAWN: DATE: DWG NO:
04/06/2025 A1-05

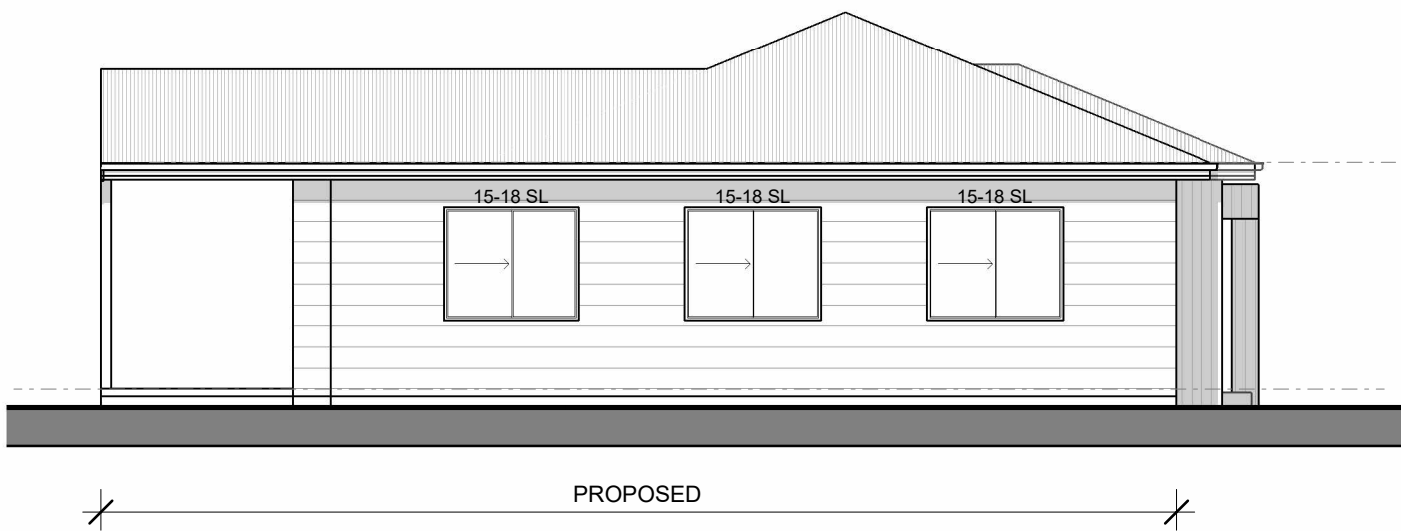
NOT FOR CONSTRUCTION



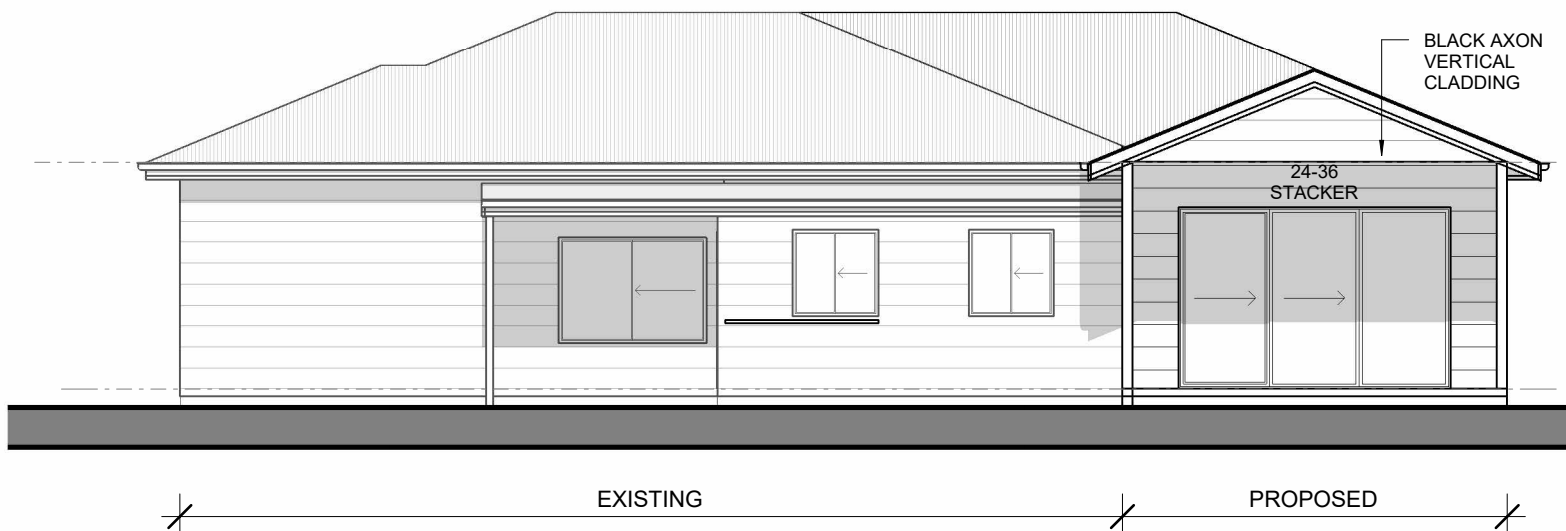
PROPOSED EAST ELEVATION
1 : 100



PROPOSED NORTH ELEVATION
1 : 100



PROPOSED SOUTH ELEVATION
1 : 100



PROPOSED WEST ELEVATION
1 : 100

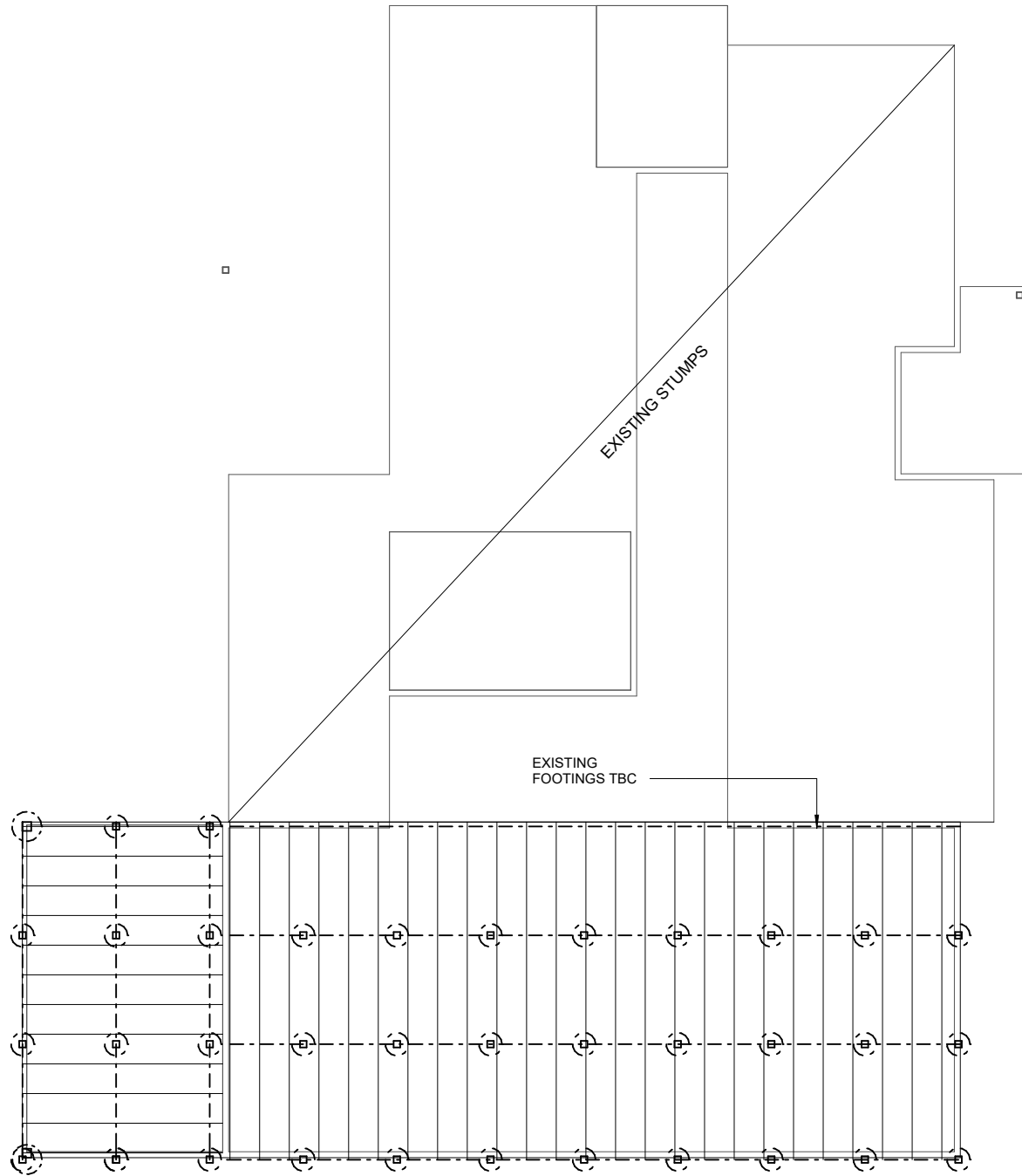
PROPOSAL:
PROPOSED EXTENSION

ADDRESS:

REVISION:
04/06/2025 CONCEPT SKETCH
11/07/2025 PRELIMINARY PLANS

DRAWN: **DATE:** **DWG NO:**
04/06/2025 A1-06

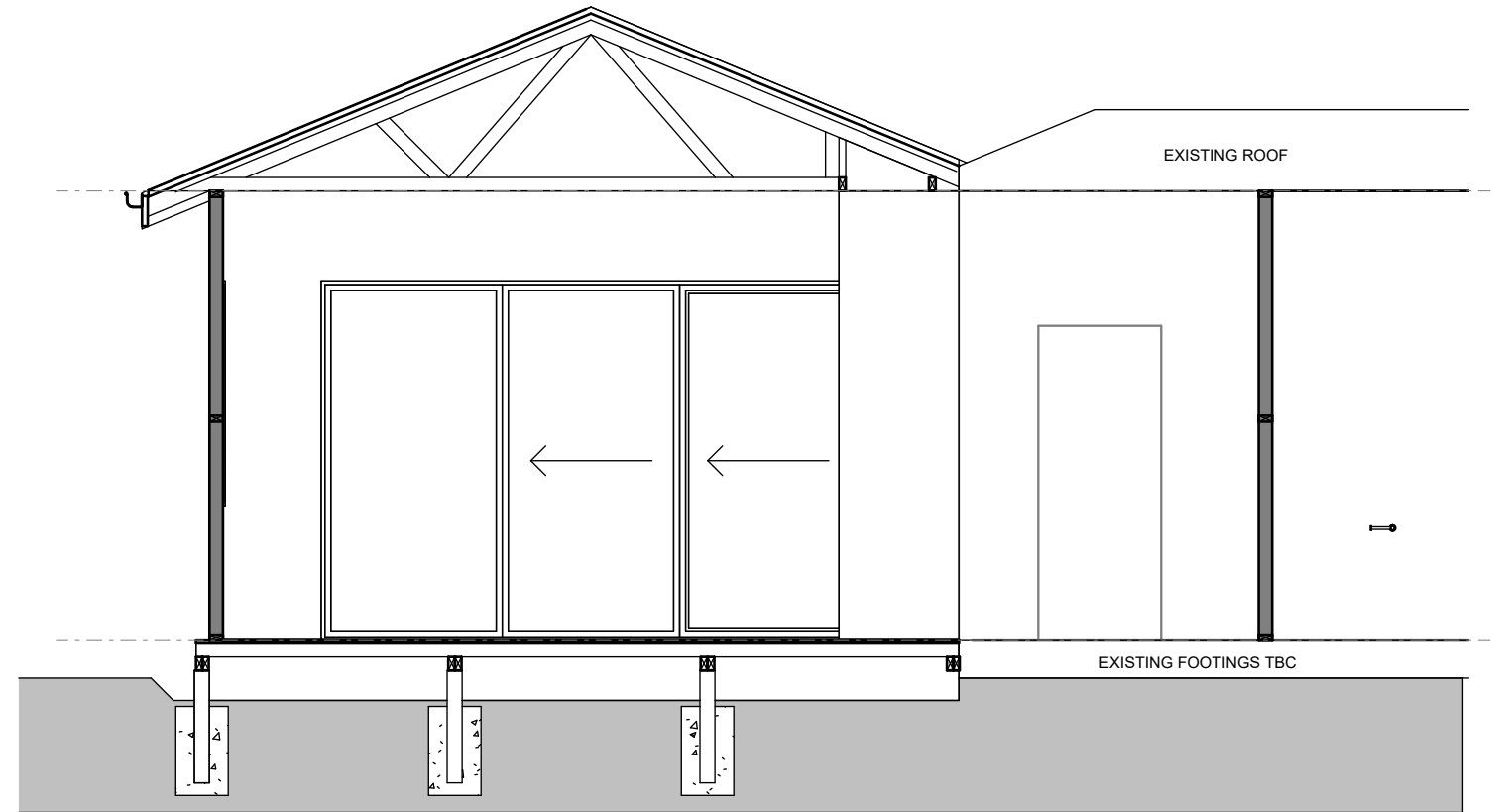
NOT FOR CONSTRUCTION



SUB FLOOR CONSTRUCTION
SELECTED FLOORING ON 90X45 LVL
JOISTS @ 450CTS ON 2/90X45 LVL
BEARERS @ MAXIMUM 1600 SPACING.
**REFER TO ENGINEER SPECS FOR
CONFIRMATION OF TIMBER
CALCULATIONS.**

STRUCTURAL FLOORING PLAN

1 : 100



SECTION A-A

1 : 50

PROPOSAL:
PROPOSED EXTENSION

ADDRESS:

REVISION:
04/06/2025 CONCEPT SKETCH
11/07/2025 PRELIMINARY PLANS

DRAWN: **DATE:** **DWG NO:**
04/06/2025 A1-07

NOT FOR CONSTRUCTION